\times

T: (905) 695-9786 | F: (905) 695-1585

admin@jaffari.org

www.jaffari.org



Request for Quotation

Proposal for Washroom Remodeling at Masumeen Islamic Centre, 7580 Kennedy Rd., Brampton, Ontario.

A. Introduction and instruction for submission of proposal.

The Islamic Shia Ithna-Asheri Jamaat of Toronto (ISIJ) is requesting quotations from contractors to provide proposals for washroom remodeling at the Masumeen Islamic Centre, located at 7580 Kennedy Road South, Brampton.

All proposals must be submitted no later than 12:00pm on Friday July 5th, 2024 via email to secretariat@jaffari.org. For any queries or to arrange for a site visit please write to facilities@masumeen.org.

- 1. The selection of the successful contractor will be based upon responses received to the information and criteria included in the request for proposal and the proposed cost of services.
- 2. The ISIJ reserves the right to accept or reject any and all proposals and to waive any technicalities.
- 3. All contractors submitting proposals should have a strong background in the requested service.
- 4. Estimated timeline for the project implementation is August/September 2024 subject to confirmation by management at time of signing the contract.

B. Scope of Work

1. First Floor, Ladies washrooms

- Demolition including removal and disposal of the existing floor and wall tiles, toilets, vanity, sink, mirror, drywall as required to accommodate new plumbing and concrete cutting/scanning as per the approved plumbing layout attached with this RFP.
- Provide new plumbing rough ins for receiving new ablution area, accessible sink, accessible toilets, counter/vanity sink, and handheld bidets, as per the approved plumbing layout attached.
- Supply and install floor and wall tiles, baseboard, trim, ceiling and wall paint in accordance to the standardization specification document attached.
- Supply and install new finish fixtures including counter/vanity with (3) automated faucets and cabinetry, (1) ablution area with automated faucet, (3) toilets and toilet partitions, (3) hand held bidets, (1) hand dryer and (1) continuous mirror, (1) paper towel dispenser, (3) automated soap dispensers, (1) female napkin dispenser, and other washroom accessories as per the approved architectural drawings, and standardization specification documents attached.
- Supply and install new finish fixtures including accessible sink with faucets, (1) new accessible toilet including grab bars, commercial grade, (1) hand held bidets (1) mirror, (1) paper towel dispenser, (1) automated soap dispenser, (1) hand dryer, (1) foldable baby diaper changing station, (1) adult size change table, and other washroom accessories as per the approved architectural drawings, and standardization specification documents attached.



- Supply and install a new pantry cabinet. It is assumed that there will be enough space to accommodate a pantry after demolishing the existing wall.
- Supply and install (1) new door and wall to segregate the electrical panel as per the approved architectural drawings.
- Supply and install (2) synchronous power door operators, as per the approved architectural drawings attached.

2. Contractor's Responsibilities

- 1. Experienced supervision team
- 2. Garbage disposal: By this contractor

Following Documents shall be provided prior to signing of the Contract:

- 1. Three references required
- 2. Timeline subject to management approval
- 3. Final amount shall be based on actual area of works completed
- 4. Warranty letter: draft copy to be issued for acceptance

3. Conditions of Contract

- The Contractor shall indemnify and hold harmless ISIJ, its agents, members and employees from and against any claim for damages arising from an occurrence of bodily injury or the destruction of tangible personal property provided that the damages are caused by the negligence or breach of this agreement of the Contractor or anyone for whom the Contractor is responsible in law and provided that the Contractor is given notice of the claim by the owner/management within a reasonable time following the occurrence but in any event within 48 hours of the owner/management first acquiring knowledge of the circumstances of the claim.
- It is understood and agreed that all damages to building structures by the contractor or its employees are to be restored to the original conditions at the expense of contractor.
- The contract may be canceled upon thirty (30) calendar days in written notice by ISIJ for non-performance of any of the specifications.
- The Contractor must carry a \$5,000,000 bodily injury insurance as well as \$5,000,000 property damage and \$5,000,000 comprehensive general liability. A copy of the insurance certificate as well as WSIB needs (coverage for all employees) to be provided to ISIJ upon signing of the contract.
- It is understood and agreed that the contractor and all of its employees will be equipped with all the safety equipment that is required by the Ontario Occupational Health and Safety Act.
- The cost of any equipment used for cleaning must be included as part of the contract fee.

BRAMPTON.CA

The Corporation of the City of Brampton

BUILDING PERMIT

PERMIT # 23 331596 P01 00 IS

MUNICIPAL ADDRESS: 7580 Kennedy Road Brampton ON

LEGAL DESCRIPTION: CONC 1 EHS LTS 13 & 14

DESCRIPTION OF WORK: IS, A2: Churches, Alteration (Renovation)

TENANT - MASUMEEN ISLAMIC CENTRE

Extension of Existing Female Washroom on First Floor to include one Extra Stall and Universal

Washroom

POSTING OF PERMIT: The person to whom the permit is issued shall have the permit or a copy of it posted at all times during the construction or demolition in a conspicuous place on the

property in respect of which the permit was issued.

PLANS AND DOCUMENTS: The plans and documents on the basis of which this permit was issued shall be kept on site at all times throughout construction.

CONSTRUCTION: All construction proposed and authorized hereto, shall, in all respects, conform with the plans submitted and reviewed, the provisions of the Building Code Act and

the Ontario Building Code, as amended, the Bylaws of the City of Brampton and other applicable law. It is the responsibility of the permit holder to ensure that the

work authorized by this permit is carried out in accordance with the requirements set out, hereto.

INSPECTIONS: The person to whom a permit is issued shall notify the Chief Building Official, via Inspections, of the readiness to inspect each stage of construction in accordance

with the regulations of the Ontario Building Code and as specified on the permit documents.

REVOCATION: This permit may be revoked if it was issued on the basis of mistaken or false information or in error, or where the construction has been substantially suspended or

discontinued for a period in excess of one year. This permit will be deemed to have lapsed, and will be revoked if construction has not commenced within six months

of the date of issue.

ISSUED UNDER THE AUTHORITY OF

Farhad Habibi

DATE OF ISSUE: May 27, 2024

Chief Building Official

FLOWER CITY

CITY OF BRAMPTON - BUILDING DIVISION - MANDATORY INSPECTIONS

PERMIT No.: 23 331596 P01 00 IS

PROJECT ADDRESS: 7580 Kennedy Road Brampton ON

The Building Code Act, Section 10.2(1) Notice of Readiness for Inspection requires that notification be provided when construction is ready to be inspected and OBC Division C Article 1.2.2.1 requires the submission of reports arising from general review be submitted by an Architect, Professional Engineer or both. PLEASE NOTE: Construction covered before the required inspection is completed will be required to be uncovered to be inspected. General review reports must be

provided to the Inspector throughout the construction progress.

BUILDING DIVISION

 $To \ book \ an \ inspection, \ visit: \underline{https://www.brampton.ca/EN/residents/Building-Permits/Inspections/Pages/Request-an-Inspection.aspx}$

Please email any inspection reports (ie engineered fill inspection reports) to inspection.services@brampton.ca in .pdf format only.

THE FOLLOWING PRESCRIBED INSPECTIONS, INDICATED WITH A CHECK MARK (**), MUST BE REQUESTED FOR THIS PROJECT. *		REPORTS ARISING FROM GENERAL REVIEW: THE ARCHITECT, ENGINEER(S) OR SITE SUPERINTENDENT MUST CONTACT THE INSPECTORS AT THE START OF CONSTRUCTION TO DETERMINE THE REPORTS			
BUILDING INSPECTIONS					
	Perimeter Insulation (Slab-on-grade)	REQUIRED TO BE PROVIDED FOR THIS PROJECT. NOTE: THE FAILURE TO PROVIDE REPORTS ON AN ONGOING BASIS WILL RESU IN THE ISSUANCE OF ORDERS TO COMPLY AND STOP WORK ORDERS AS			
\mathbf{Y}	Start of Construction (Call for inspection prior to commencement of construction)				
	Footings (Prior to Concrete Pour)		UIRED.		
	Backfill (Foundations)				
$\mathbf{\nabla}$	Structural Framing (Per Floor)		The Architect and/or Professional Engineer shall undertake general review and provide		
	Fire Separations, Closures and Fire Stopping	_	reports to the Inspector in accordance with the Performance Standards of OAA && PEO.		
\blacksquare	Interior Finishes		The Soils Engineer shall provide written verification of the required bearing capacity of the		
Y	Fire Alarm Systems	_	soils prior to placement of footing		
Y	Sprinkler and Standpipe Systems		Structural framing (steel) - A CSA W-47 Certified Inspection agency shall provide to the		
Y	Emergency Lighting and Power		Inspector all reports including reports certifying compliance of structural steel erection		
	Fire Access Routes		with CAN/CSA - S16, CAN/ CSA S136 and CSA A660		
	PUBLIC POOLS - Pool Deck, Dressing Rooms and Emergency Stop Systems Occupancy - Partial and/or Complete (48 hrs. written notice of completion required)		Structural framing (concrete) - Concrete strength reports and reinforcing steel inspection		
	Final		reports shall be provided for all concrete structural framing elements including footings,		
	JMBING INSPECTIONS		foundations, walls, columns, structural slabs		
	Start of Construction (Call for inspection prior to commencement of construction)		Compaction reports shall be provided for concrete slabs on grade		
	Fire Service Mains		Roof construction - detailed inspection reports shall be provided by an independent		
	Outside Sewers		testing agency		
	Water Service		The Architect/Engineer or an independent inspection agency shall provide verification of		
\blacksquare	Underground Plumbing		compliance with the applicable standard for any "tested" assembly		
\blacksquare	Drains, Waste and Vents		Sprinkler, Standpipe and Hose Systems		
\blacksquare	Water Distribution System		- Verification of installation testing and the required supervision by the Mechanical		
$oldsymbol{ abla}$	Plumbing Fixtures and Appliances		Engineer and Contractor		
	PUBLIC POOLS - Suction, Gravity Outlets and Covers		- (Submit Above Ground and Below Ground Contractor's Material & Test Certificates		
	PUBLIC POOLS - Circulation/Re-circulation Systems		in conformance with NFPA-13 and NFPA-14 as applicable)		
	Occupancy Partial and/or Complete (48 hrs. written notice of completion required)		Verification by the Architect/Engineer responsible for general review that the energy		
☑	Final		efficient design elements have been completed and are in compliance with OBC Division		
HV.	AC INSPECTIONS Start of Construction (Call for inspection prior to commencement of construction)	_	C Article 1.2.1.1.		
	Insulation, Vapour Barrier & Air Barrier		Fire Alarm System		
	HVAC Rough-in		 verification of testing for conformance with CAN/ULC S537-04 		
<u> </u>	Substantial Completion of HVAC Systems		 verification of installation for conformance with CAN/ULC S524 -01 		
	Kitchen Exhaust Systems and Smoke Test		Fire Protection and Life Safety Systems Integrated Testing		
	Fire Suppression Systems		 Verification of Testing for conformance with CAN/ULC - S1001 		
	Occupancy - Partial and/or Complete (48 hrs. written notice of completion required)		(Submit Integrated Systems Testing Plan/Report and Testing Certificate)		
\blacksquare	Final		Any additional reports that may be required by the Inspector during construction (eg.		
* A	DDITIONAL INSPECTIONS MAY BE REQUIRED		emergency lighting, emergency power.)		

IMPORTANT NOTICE TO PERMIT HOLDERS

PLEASE NOTE BELOW THE PROCESS FOR OCCUPANCY OR PARTIAL OCCUPANCY OF THE BUILDING

OCCUPANCY PERMIT REQUIREMENTS (OBC Division C Article 1.3.3.1)

OCCUPANCY PERMIT PROCESS

- Step 1 All of the requirements for occupancy listed on the right panel of this page must be satisfied before occupancy will be permitted. Prioritize construction accordingly.
- Step 2 Review the occupancy requirements with your inspectors approximately 1 to 4 weeks in advance of the occupancy date depending upon the complexity of the project
- Step 3 The notice of completion must be received in writing, at least 48 hours in advance of the required inspection date.

PARTIAL OCCUPANCIES

Requests for partial occupancies must be accompanied by a floor plan identifying the area/part of the building to be occupied or a letter identifying suites in a multi-storey building. Please note that a partial occupancy refers only to a physical area of the building. All of the occupancy requirements must be satisfied for that part of the building to be occupied.

SHELL BUILDINGS

Occupancy permits are issued for complete buildings and for interior/unit finishes only, not for shell buildings. If the permit specifies a shell building with no identified occupant apply for a final inspection. A certificate of final inspection will be issued.

An occupancy permit will not be issued for an interior finish or unit finish until the certificate of final inspection has issued for the shell building. This does not apply to a phased complete building where the occupant was identified on the initial application.

The chief building official or a person designated by the chief building official shall issue a permit authorizing occupation of a building, where

- (a) the structure of the building or part thereof is completed to the roof.
- (b) the enclosing walls of the building or part thereof are completed to the roof.
- (c) the walls enclosing the space to be occupied are completed, including balcony guards.
- (d) all required fire separations and closures are completed on all storeys to be occupied.
- (e) all required exits are completed and fire separated including all doors, door hardware, self-closing devices, balustrades and handrails from the uppermost floor to be occupied down to grade level and below if exits connects with lower storeys.
- (f) all shafts including closures are completed to the floor-ceiling assembly above the storey to be occupied and have a temporary fire separation at such assembly.
- (g) measures have been taken to prevent access to parts of the building and site that are incomplete or still under construction.
- (h) floors, halls, lobbies and required means of egress are kept free of loose materials and other hazards.
- if service rooms should be in operation, required fire separations are completed and all closures installed.
- (j) all building drains, building sewers, water systems, drainage systems and venting systems are complete and tested as operational for the storeys to be occupied.
- (k) required lighting, heating and electrical supply are provided for the suites,rooms and common areas to be occupied.
- (l) required lighting in corridors, stairways and exits is completed and operational up to and including all storeys to be occupied.
- (m) required standpipe, sprinkler and fire alarm systems are completed and operational up to and including all storeys to be occupied, together with required pumper connections for such standpipes and sprinklers.
- (n) required fire extinguishers have been installed on all storeys to be occupied.
- (o) main garbage rooms, chutes and ancillary services thereto are completed to storeys to be occupied.
- (p) required fire fighting access routes have been provided and are accessible, and
- (q) the sewage system has been completed and is operational.
- ** Occupancy will not be permitted until all of the reports required by the architect and professional engineer retained to undertake general review, up to an including certification of completion for occupancy, have been provided to the inspector(s).

**



Planning and Development Services

Building Division

8850 McLaughlin Road, Unit 1 Brampton, ON L6Y 5T1

GENERAL NOTES FOR UNIT / INTERIOR FINISH OR INTERIOR ALTERATION

(Designed under Division B, Part 3 of the Ontario Building Code)

PERMIT APPLICATION N LOCATIO OWNI OCCUPANT / TENAI	ON:			
Building Classification Sprinkler System		Fire Alarm		
Unit Classification		Major Occupancy		□ no
Fire Resistance Ratings:	Floor below	Floor / Roof above	Walls L Maintain existing fire	R

These general notes form part of the reviewed plans.

All work shall conform to the regulations of the Ontario Building Code, O. Reg. 332/12, as amended. Any changes made to the reviewed plans will require a revision to the permit.

- 1. When required, an Architect, Professional Engineer or both shall undertake the <u>General Review</u> of the construction of the building in accordance with Division C, Section 1.2 of the Ontario Building Code and shall forward copies of all written reports arising out of the General Review directly to the Inspector.
- 2. No person shall make a <u>material change</u> or cause a material change to be made to the building permit plans, specifications or other documents without first notifying, filing details with and obtaining the authorization of the Chief Building Official. An application for a revision is required for any material change
- 3. Only listed <u>fire stop materials</u> that have been tested in conformance with CAN/ULC-S115, "Fire Test of Fire Stop Systems" may be used. Submit fire stop material specifications to the Inspector for review prior to its use.
- 4. <u>Emergency lighting</u> shall be provided in all exits, principal routes providing access to exit in an open floor area, corridors used by the public and further specified in OBC Division B, 3.2.7.
- 5. <u>Exit signs</u> shall be placed over or adjacent to exit doors, where required, in conformance with OBC Division B, 3.4.5.
- 6. <u>Separate permits</u> are required for any construction which is not included on the plans, specifications or other documents that form the basis of the building permit.
- 7. Separate permits are required for all exterior building wall face and ground signs.

PRIOR TO OCCUPATION OF THE BUILDING OR ANY PART THEREOF, A NOTICE OF COMPLETION MUST BE SUBMITTED AND AN OCCUPANCY PERMIT MUST BE ISSUED, AUTHORIZING THE OCCUPATION. FOR ALTERATION ONLY PERMITS, A CERTIFICATE OF FINAL INSPECTION WILL BE ISSUED WHEN COMPLETED.

Call (905) 874-3700 between 8:00 a.m. and 3:00 p.m. to arrange for inspections at least 48 hours in advance.

PLEASE SEE ATTACHED NOTES AS THEY FORM PART OF THE REVIEWED DRAWINGS



Planning and Infrastructure Services Building Division

<u>IMPORTANT NOTICE TO PERMIT HOLDER</u>

RE: PROJECTS WHERE CONSTRUCTION HAS BEEN COMPLETED PRIOR TO THE ISSUANCE OF THE PERMIT

The permit holder is advised that this application has been reviewed for compliance with the Building Code Act and the Regulations thereto as of the date that the permit issued notwithstanding when the construction was undertaken.

The permit holder is advised that S.8.(13) of the Building Code Act states that:

"No person shall construct or demolish a building or cause a building to be constructed or demolished except in accordance with the plans, specifications, documents and any other information on the basis of which a permit was issued or any changes to them authorized by the chief building official."

The permit holder is advised that the Inspector has a duty to inspect all parts of the work for which the permit has issued in order to verify that the work has been completed in accordance with the permit documents.

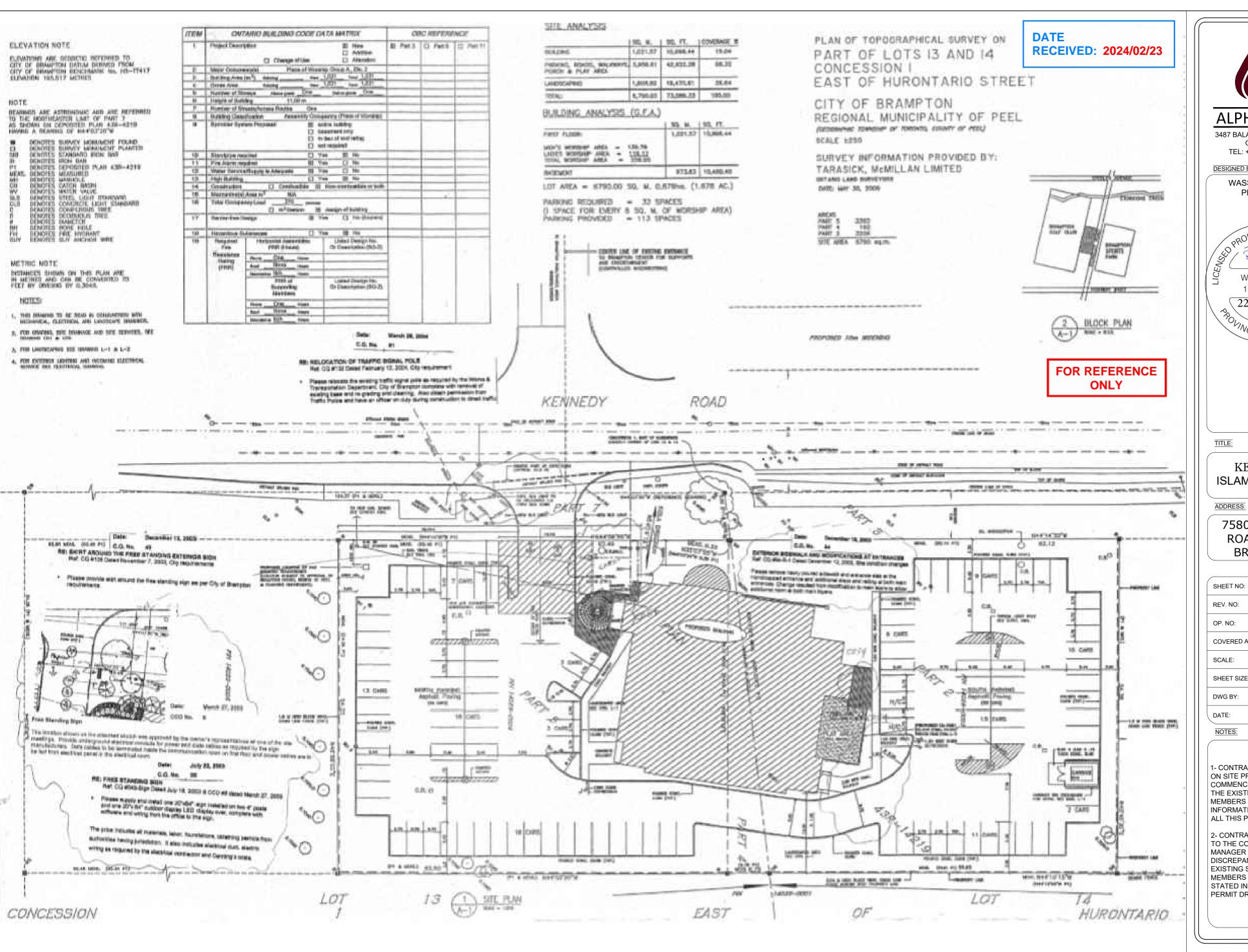
The permit holder is advised that the issuance of this permit necessitates that any or all of the following may be required in order that the mandatory inspections as set out in Division C – Part 1 Subsection 1.3.5. of the Regulations of the Building Code can be carried out including but not limited to:

- expose any part of the footings and foundations
- expose any part of the structural framing
- expose any part of the insulation and vapour barrier
- expose any part of the ductwork and piping for heating and air-conditioning systems
- expose the components of the drain, waste and vent system(s) as may be required to determine whether the construction complies with the Code.

Please contact the Inspections Office to arrange an initial site visit with the Building, Plumbing and HVAC Inspectors in order to determine which areas must be exposed and to co-ordinate the necessary inspections.

PLEASE SEE ATTACHED NOTES AS THEY FORM PART OF THE REVIEWED DRAWINGS

Call (905) 874-3700 between 8:00 a.m. and 3:00 p.m. to arrange for inspections at least 48 hours in advance.





ALPHATRONS

3487 BALA DR. MISSISSAUGA ON L5M0G6. TEL: +1 (437) 684-5252

WASSAY GULREZ Ph.D, P.Eng.

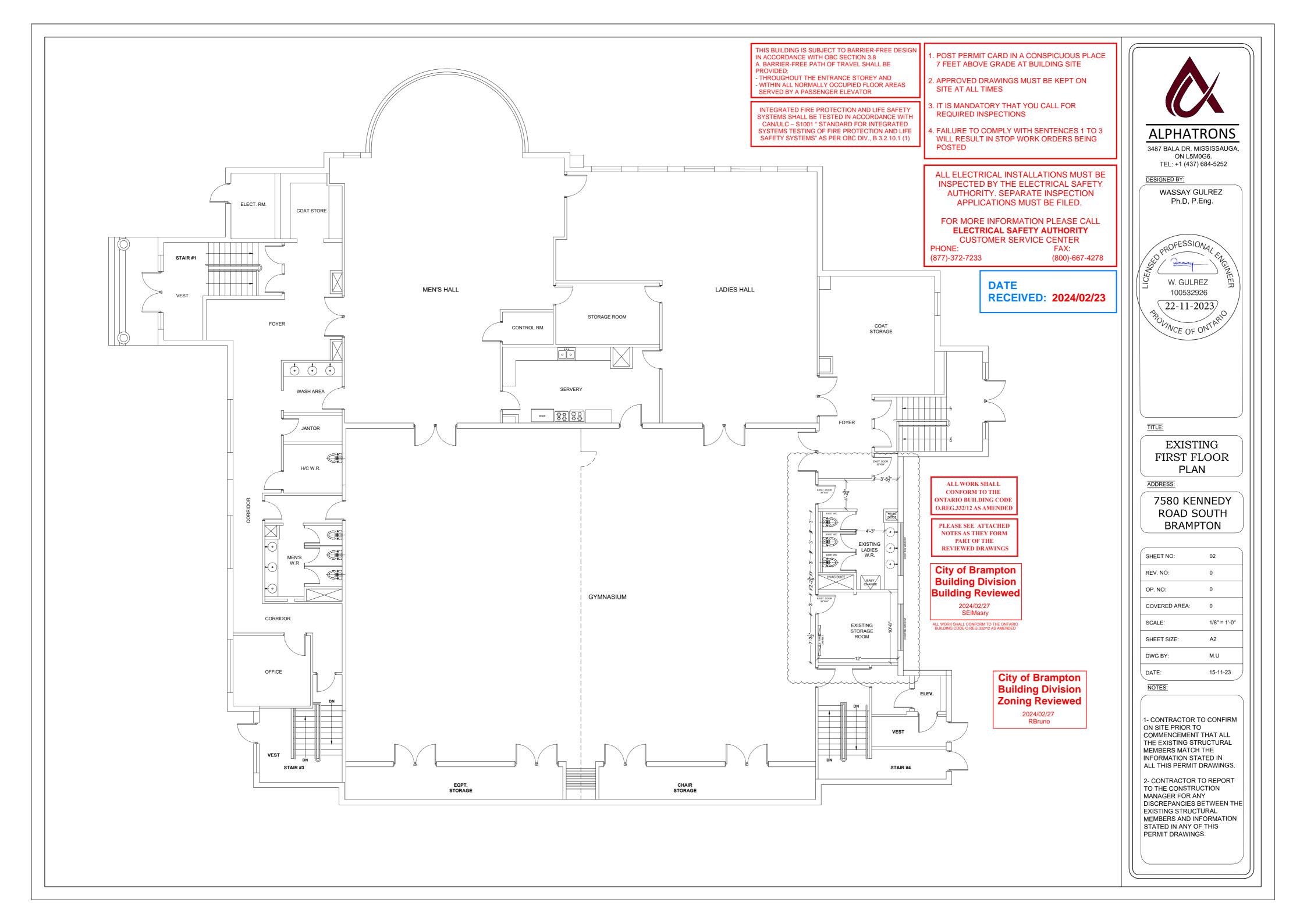


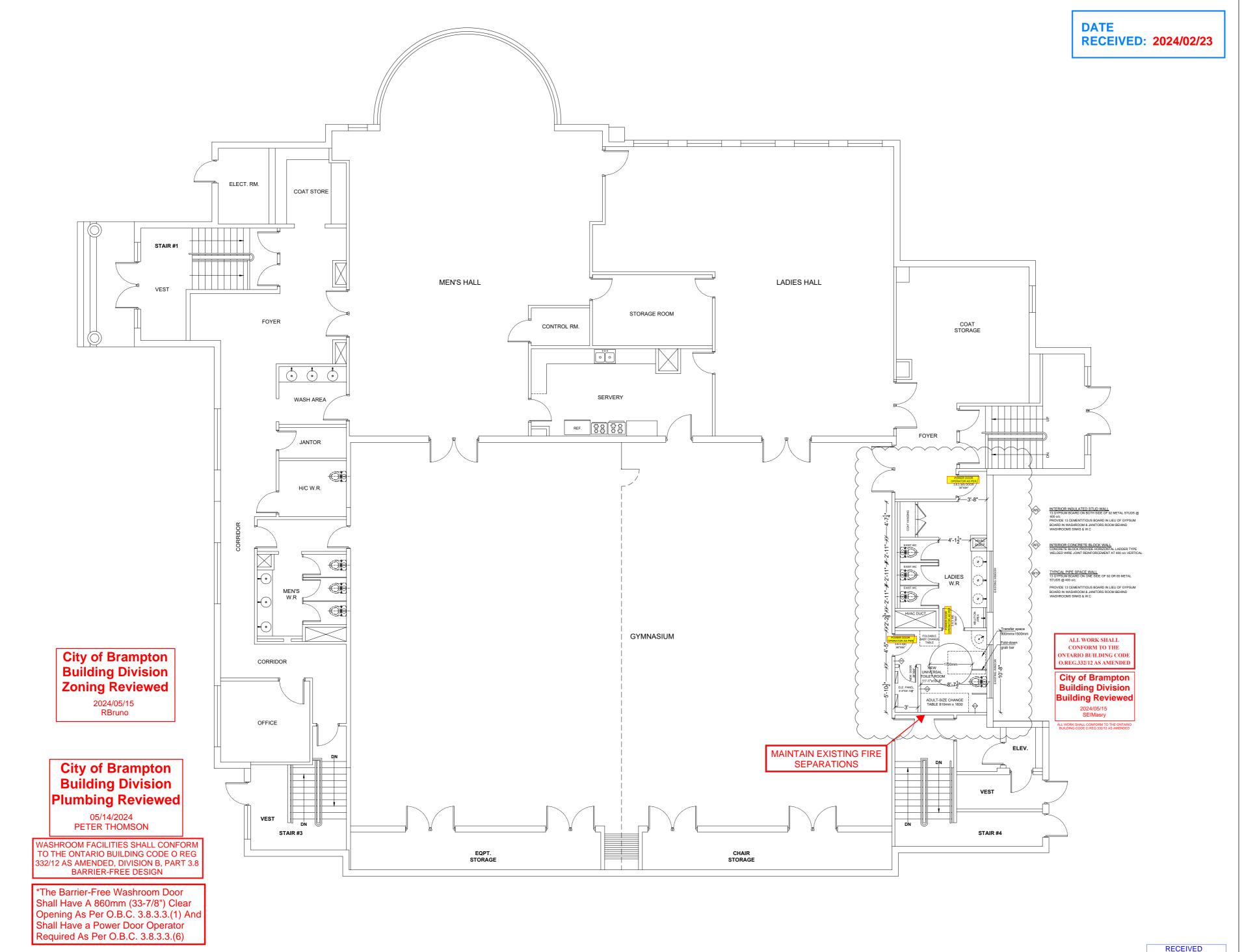
KEY PLAN **ISLAMIC CENTER**

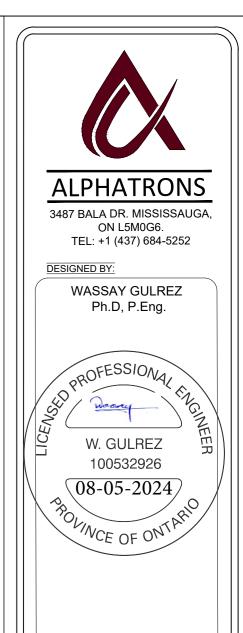
7580 KENNEDY **ROAD SOUTH BRAMPTON**

SHEET NO:	01
REV. NO:	0
OP. NO:	0
COVERED AREA:	0
SCALE:	N.T.S
SHEET SIZE:	A2
DWG BY:	M.U
DATE:	15-11-23
NOTES:	

1- CONTRACTOR TO CONFIRM ON SITE PRIOR TO COMMENCEMENT THAT ALL THE EXISTING STRUCTURAL MEMBERS MATCH THE INFORMATION STATED IN ALL THIS PERMIT DRAWINGS.







TITLE:

PROPOSED FIRST FLOOR PLAN

ADDRESS:

7580 KENNEDY ROAD SOUTH BRAMPTON

SHEET NO:	03
REV. NO:	03
OP. NO:	0
COVERED AREA:	0
SCALE:	1/8" = 1'-0"
SHEET SIZE:	A2
DWG BY:	M.U
DATE:	09-05-24
NOTES:	

1- CONTRACTOR TO CONFIRM ON SITE PRIOR TO COMMENCEMENT THAT ALL THE EXISTING STRUCTURAL MEMBERS MATCH THE INFORMATION STATED IN ALL THIS PERMIT DRAWINGS.

2- CONTRACTOR TO REPORT TO THE CONSTRUCTION MANAGER FOR ANY DISCREPANCIES BETWEEN THE EXISTING STRUCTURAL MEMBERS AND INFORMATION STATED IN ANY OF THIS PERMIT DRAWINGS.

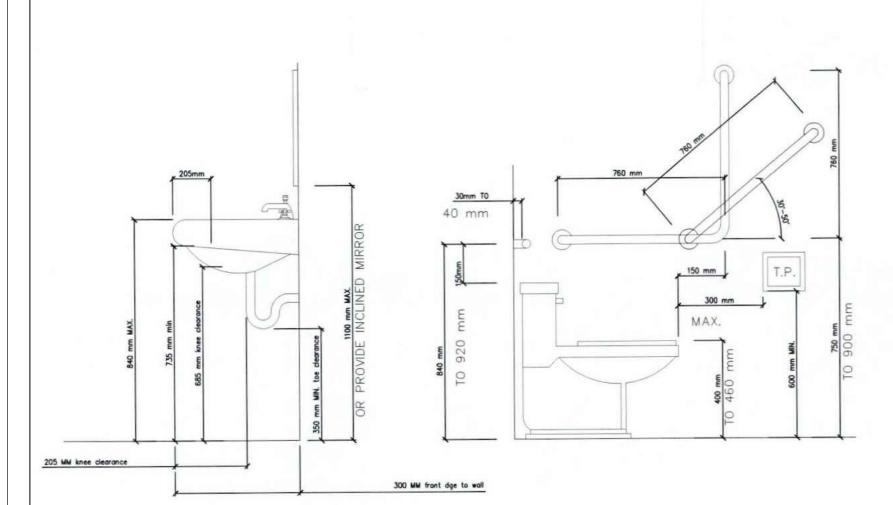
RECEIVED MAY 13, 2024 Building Division

City of Brampton Building Division Plumbing Reviewed

05/14/2024 PETER THOMSON

WASHROOM FACILITIES SHALL CONFORM TO THE ONTARIO BUILDING CODE O REG 332/12 AS AMENDED, DIVISION B, PART 3.8 BARRIER-FREE DESIGN

*The Barrier-Free Washroom Door Shall Have A 860mm (33-7/8") Clear Opening As Per O.B.C. 3.8.3.3.(1) And Shall Have a Power Door Operator Required As Per O.B.C. 3.8.3.3.(6)



CLEARANCES BENEATH A LAVATORY

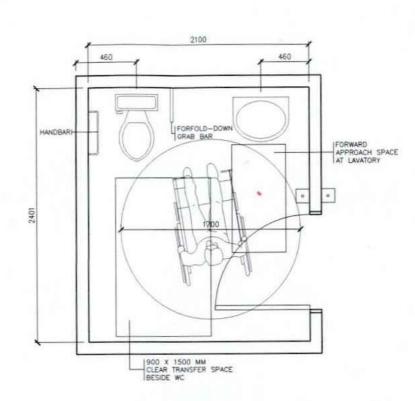
LAVATORIES

WATER CLOSET & GRAB BARS

DOORS

A MINIMUM 900mm DOOR IS REQUIRED WITH A MINIMUM UNOBSTRUCTED CLEAR WIDTH OF 850mm. THE DOOR MUST SWING OUT, UNLESS ENOUGH AREA IS PROVIDED WITHIN THE WASHROOM TO PERMIT CLOSING THE DOOR WITHOUT INTERFERING WITH THE WHEELCHAIR. DOORS MAY BE LOCKABLE, BUT CAPABLE OF EMERGENCY RELEASE FROM THE OUTSIDE. DOOR OPENING DEVICES SHALL BE LEVER TYPE DESIGN THAT DOES NOT REQUIRE TIGHT GRASPING OR TWISTING OF THE WRIST. A DOOR CLOSER & A POWER OPERATOR IS REQUIRED WHERE THE DOOR OPENS OUTWARD.

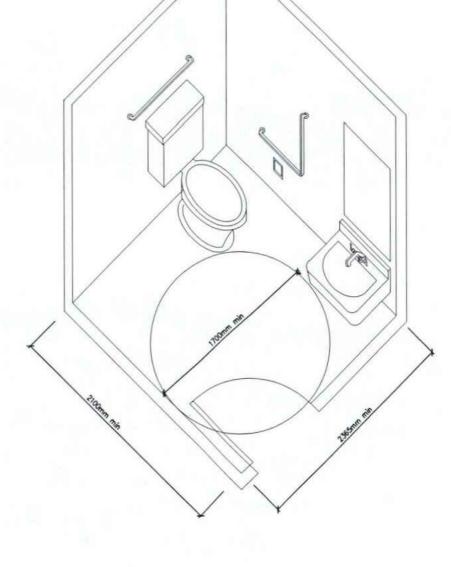
MUST BE NOT MORE THAN 840mm FROM THE TOP OF A BASIN OR VANITY TO THE FLOOR. A 760mm WIDE AREA REQUIRES THE FOLLOWING CLEARANCES BENEATH THE LAVATORY: 735mm UNDER THE FRONT EDGE: 685mm AT A POINT 205mm BACK FROM THE FRONT EDGE; 230mm OVER THE DISTANCE FROM A POINT 280mm TO A POINT 430mm BACK FROM THE FRONT EDGE. INSULATED PLUMBING OR WATER SUPPLY TEMPERATURE LIMITED TO 43° TO PREVENT BURNS. FAUCET HANDLES OF THE LEVER TYPE OR AUTOMATICALLY OPERABLE ARE REQUIRED, AND MUST NOT BE SPRING-LOADED NOR LOCATED NO FURTHER THAN 485mm FROM THE CENTRE LINE TO THE FRONT EDGE OF THE BASIN OR VANITY.



UNIVERSAL TOILET ROOM CLEARANCES FROM WALL TO FIXTURES

GRAB BARS

TWO ARE REQUIRED, ONE BEHIND THE WATER CLOSET, THE OTHER TO BE MOUNTED BESIDE THE WATER CLOSET. SEE THE ILLUSTRATION ABOVE FOR DIMENSIONING. GRAD BARS MUST BE SLIP RESISTANT, 30-40mm DIAMETER, AND MUST SUPPORT A LOAD UP TO 1.3kN APPLIED VERTICALLY & HORIZONTALLY. GRAB BARS MUST BE ATTACHED WITH SCREWS WHICH PENETRATE AT LEAST 32mm INTO THE SOLID BLOCKING.



UNIVERSAL TOILET ROOM W/ INWARD SWINGING DOOR (TYPICAL)

ACCESSORIES

A COAT HOOK MUST BE PROVIDED. ALL ACCESSORIES, SUCH AS SOAP AND TOWEL DISPENSERS, MUST BE MOUNTED NOT MORE THAN 1200mm FROM THE FLOOR. TOILET PAPER DISPENSERS SHALL BE LOCATED (BELOW THE GRAB BAR) WITHIN 300mm IN FRONT OF THE TOILET SEAT AND MORE THAN 600mm ABOVE THE FLOOR

WATER CLOSET

A SEAT HEIGHT OF 400mm TO 460mm IS REQUIRED.
FLUSHING CONTROLS MUST BE EASILY ACCESSIBLE TO A
WHEELCHAIR USER OR BE AUTOMATICALLY OPERABLE.
A BACK SUPPORT IS REQUIRED WHERE THERE IS NO SEAT
LID OR TANK. SEATS MUST NOT BE SPRING-ACTIVATED

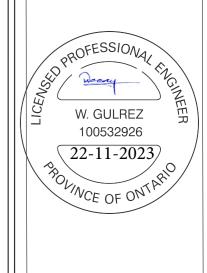


ALPHATRONS

3487 BALA DR. MISSISSAUGA, ON L5M0G6. TEL: +1 (437) 684-5252

DESIGNED

WASSAY GULREZ Ph.D, P.Eng.



TITL

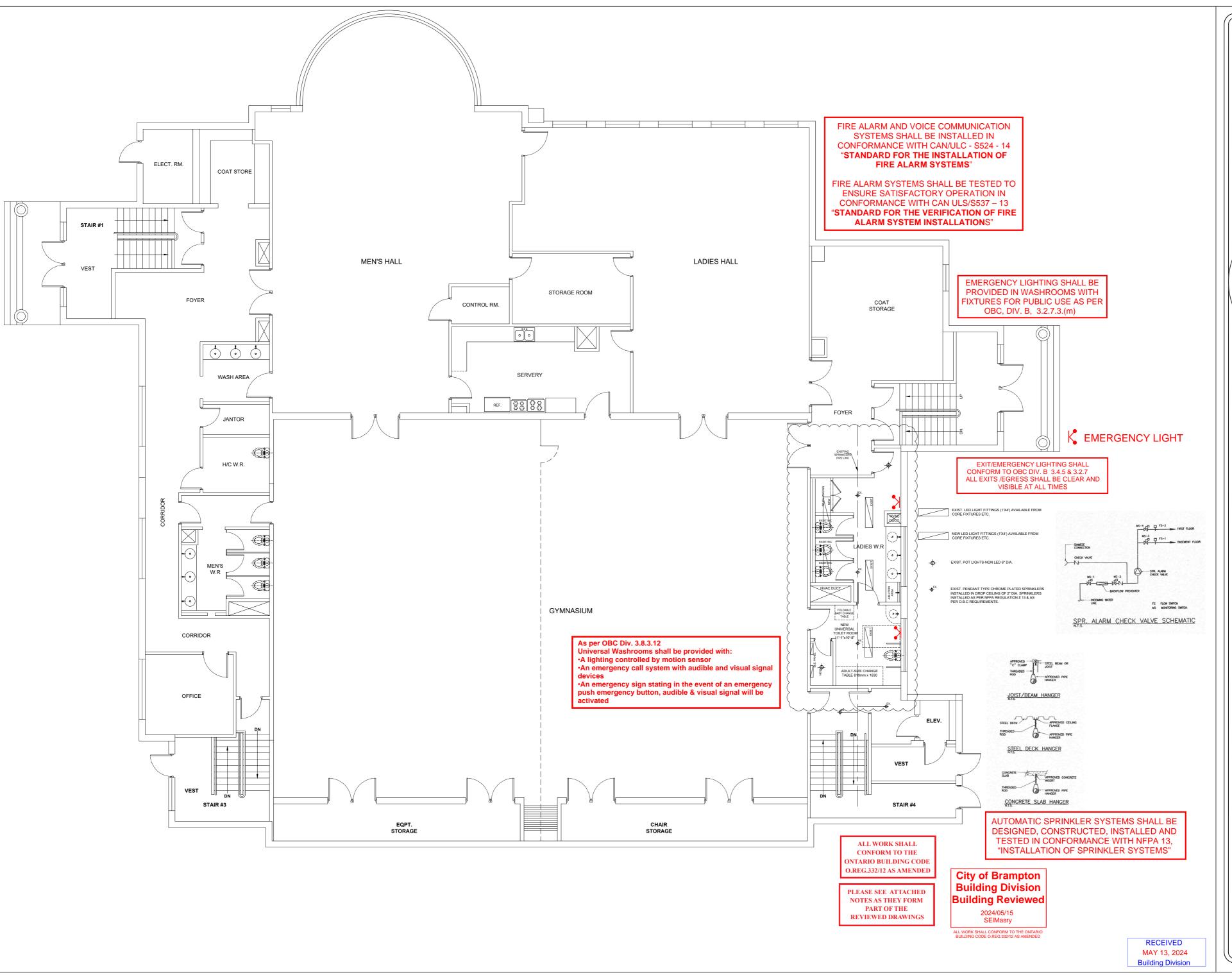
TYPICAL DETAIL DWG

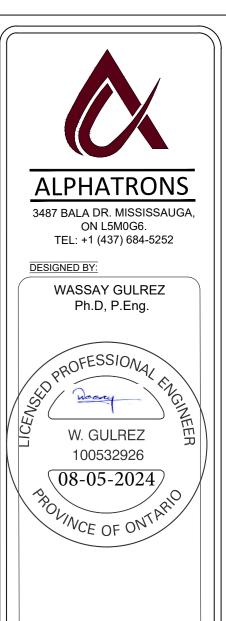
ADDRES

7580 KENNEDY ROAD SOUTH BRAMPTON

SHEET NO:	06
REV. NO:	0
OP. NO:	0
COVERED AREA:	0
SCALE:	N.T.S
SHEET SIZE:	A2
DWG BY:	M.U
DATE:	15-11-23
NOTES:	

1- CONTRACTOR TO CONFIRM ON SITE PRIOR TO COMMENCEMENT THAT ALL THE EXISTING STRUCTURAL MEMBERS MATCH THE INFORMATION STATED IN ALL THIS PERMIT DRAWINGS.





TITLE:

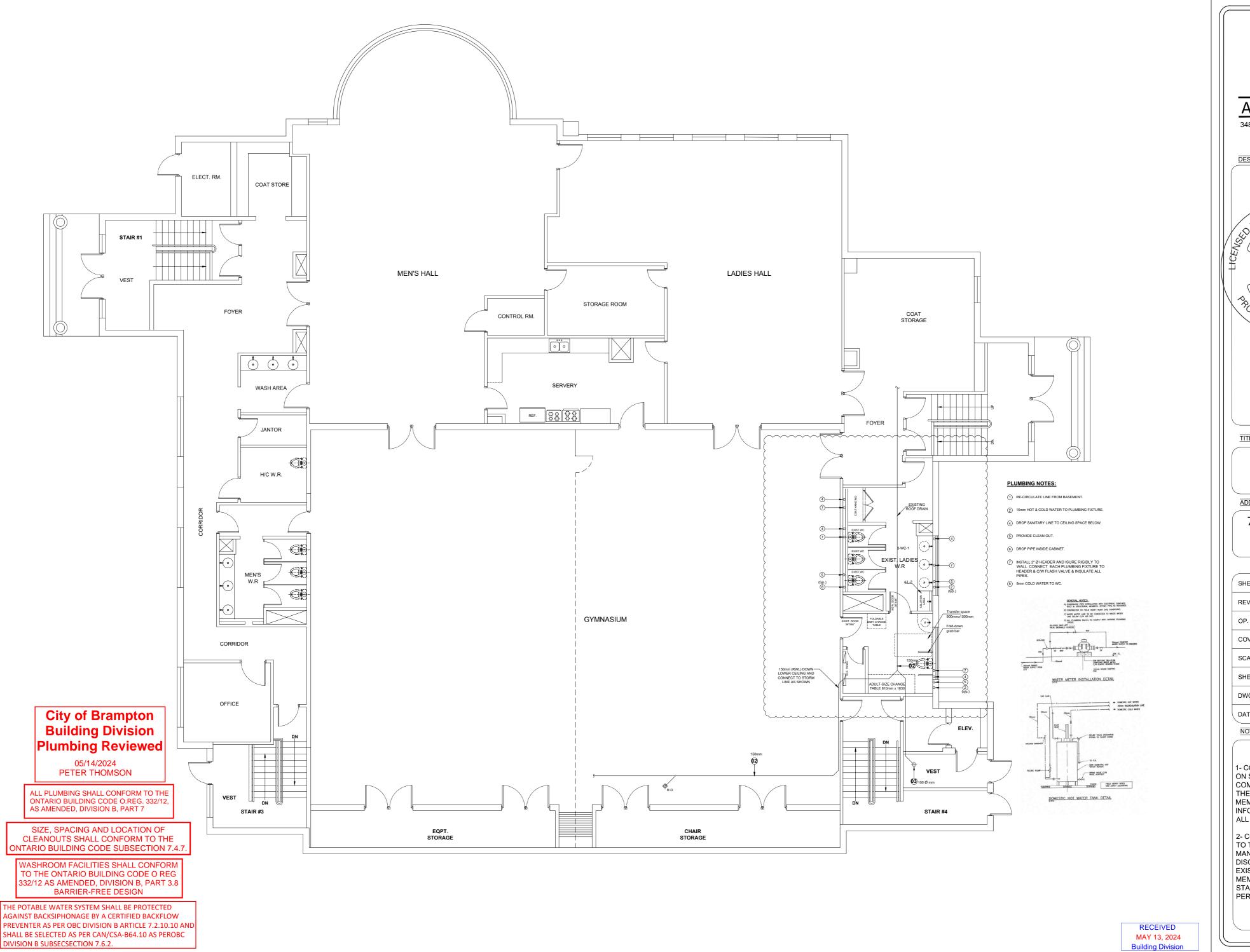
ELECTRIC & SPRINKLER DWG.

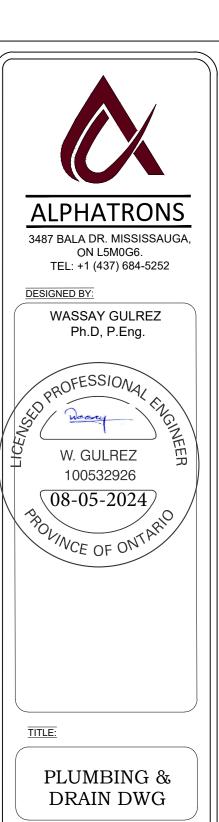
ADDRESS:

7580 KENNEDY ROAD SOUTH BRAMPTON

SHEET NO:	04
REV. NO:	02
OP. NO:	0
COVERED AREA:	0
SCALE:	1/8" = 1'-0"
SHEET SIZE:	A2
DWG BY:	M.U
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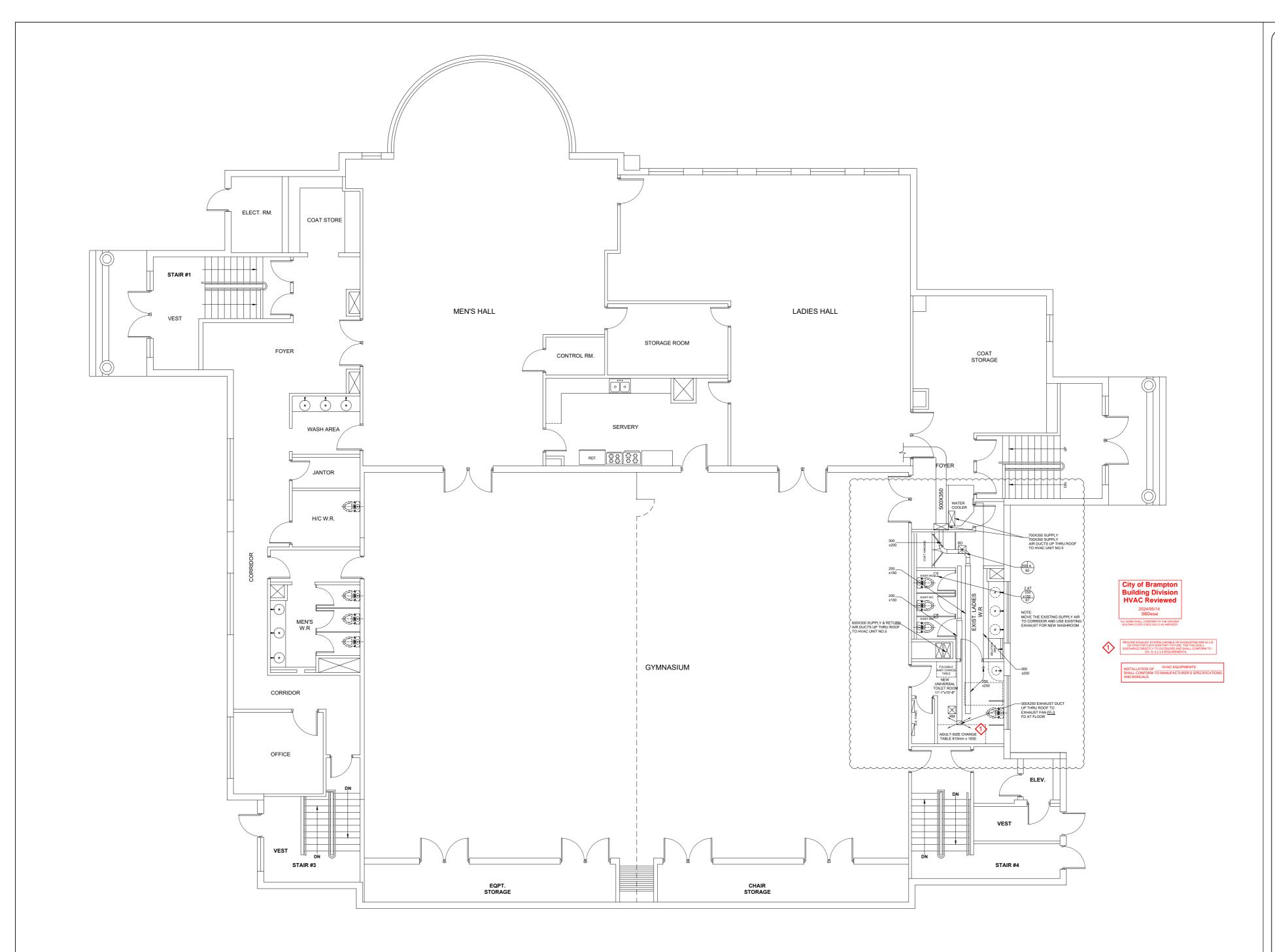


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7580 KENNEDY ROAD SOUTH BRAMPTON

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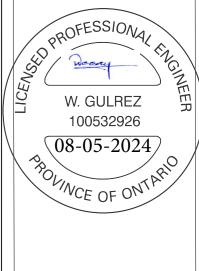


<u> ALPHATRONS</u>

3487 BALA DR. MISSISSAUGA, ON L5M0G6. TEL: +1 (437) 684-5252

DESIGNED BY:

WASSAY GULREZ Ph.D, P.Eng.



TITLE:

EXISTING HVAC DWG.

ADDRESS:

7580 KENNEDY ROAD SOUTH BRAMPTON

	_
SHEET NO:	05A
REV. NO:	02
OP. NO:	0
COVERED AREA:	0
SCALE:	1/8" = 1'-0"
SHEET SIZE:	A2
DWG BY:	M.U
DATE:	09-05-24
NOTES:	

1- CONTRACTOR TO CONFIRM ON SITE PRIOR TO COMMENCEMENT THAT ALL THE EXISTING STRUCTURAL MEMBERS MATCH THE INFORMATION STATED IN ALL THIS PERMIT DRAWINGS.

2- CONTRACTOR TO REPORT TO THE CONSTRUCTION MANAGER FOR ANY DISCREPANCIES BETWEEN THE EXISTING STRUCTURAL MEMBERS AND INFORMATION STATED IN ANY OF THIS PERMIT DRAWINGS.

RECEIVED MAY 13, 2024 Building Division

NATIONAL STANDARDIZATION FOR MASUMEEN ISLAMIC CENTRE, WASHROOMS

To minimize construction costs and timelines and to create brand recognition at MASUMEEN ISLAMIC CENTRE, a decision was made to create a document that outlines the NATIONAL STANDARDIZATION FOR MASUMEEN ISLAMIC CENTRE, WASHROOMS.

MASUMEEN ISLAMIC CENTRE will also strive to provide one AODA compliant Universal Washroom on property. Where a separate universal washroom cannot be created, MASUMEEN ISLAMIC CENTRE will provide AODA compliant washroom stalls, sinks, access and accessories as required.

It is noted that in certain circumstance where we are not renovating an entire facility, it may make more sense or be more cost affective to match the existing finished. However, the intent is to utilize the standard finished outlined in this document whereever, whenever possible and/or feasible.

Please note that when a project requires architectural or engineered drawings, the sepcification on the drawings may supercede these standards and finishes.

If access to national suppliers is not possible to source material/products, an approved alternative product may be used as long as it meets the outlined standards.

Division 1 – Woods and Plastics

COUNTER/VANITY

- Formica Canada 180fx Calacatta Marble Finish 3460-46(Model # 034601246408000 / Home Depot Store SKU # 1001185634) or equivalent.
- Hampton Bay Edson White Base Cabinet BS30 (Model #CC3035S-WH / Home Depot Store SKU # 1001469565) or equivalent.
- Wall mounted, sink to be drop in.
- One lower sink and countertop to be provided for AODA.

Division 2 – Doors and Windows

DOORS AND FRAMES

Interior doors and frames:

• 36 in. x 80 in. Camden White Painted Solid Core Metal Single Prehung Interior Door by JELD-WEN (Model #THDJW136800065 / Internet #203617892)or equivalent.

HARDWARE

- Interior Door Handles to be Defiant Naples Hall & Closet Passage Door Lever in Satin Nickel(Model # LYEX203B / Home Depot Store SKU # 1000732825) or equivalent.
- Interior Door Handles to be Defiant Naples Hall & Closet Passage Door Lever in Satin Nickel, Set of 6 (Model # LYEX203BD6 / Home Depot Store SKU # 1001013128) or equivalent.
- Tell Grade 1 Commercial Exit Device with Lip Pull (Model # EXC10001/ Home Depot Store SKU #1000851702) or equivalent.
- Power door openers are to be 950N Automatic Door Operator (950N, FAAC Simply Automatic)or equivalent. Main entrances and washroom doors to include an automatic door open option.
- Kick Plate to be 6" x 32" aluminum Taymor 6-inch x 32-inch Satin Aluminum Door Kick Plate(Model # 25-D632, Home Depot Store SKU # 1000177295) or equivalent.

Division 9 – Finishes

FLOORS

Interior:

- Merola Tile Itaca Anti-Slip Mix 11-1/2-inch x 11-1/2-inch Porcelain Floor and Wall Tile (10.55sq. ft. / case). (Model # FGA12ITM Home Depot Store SKU # 1001290952) or equivalent.
- Baseboard/Trim Silver Grey or Putty colours

WALL ASSEMBLY

Structure:

• Interior wall structure to be Metal 2" x 4" with appropriately rated insulation and drywall.

Paint (Grey or Beige):

- For new drywall surfaces use Behr Premium Plus Interior Drywall Primer 18.9 (Model # 07305 /Home Depot Store SKU # 1000402537) or equivalent.
- Behr Premium Plus Interior Semi-Gloss Enamel Paint Ultra Pure White, 18.9 L (Model #305005C / Home Depot Store SKU # 1000402627) or equivalent. Tinted Silver Screen 770E-2(Grey) or Swiss Coffee 12 (Beige) or equivalent.

Interior:

- Merola Tile Itaca Anti-Slip Mix 11-1/2-inch x 11-1/2-inch Porcelain Floor and Wall
 Tile (10.55 sq.ft. / case) Model # FGA12ITM Home Depot Store SKU # 1001290952) or
 equivalent.
- Trusscore PVC Interlocking Liner Wall and Ceiling Panel

• White colour. Warranty: Limited Lifetime.

CEILING

- Drywall ceiling in office to be painted with Behr Premium Plus PREMIUM PLUS Ultra Pure WhiteInterior Ceiling Paint - 18.9L (Model # 55805C / Home Depot Store SKU # 1000402546) or equivalent.
- Drop ceilings to use Square Tegular 24" X 24"- Fine Fissured- mould resistant...

Division 10 - Specialties

TOILET PARTITIONS

- Hadrian Manufacturing Powder Coated Anti Graffiti 828 Dovetail or equivalent.
- Partitions should be Headrail braced, floor mounted partitions (where feasible) or equivalent.
- Ensure that there is ample space within each stall during design and/or construction to manuever around the recommended toilets listed below.

WASHROOM ACCESSORIES

Coat Hooks:

- Bobrick 233 304 Stainless Steel Clothes Hook, Satin Finish, 1-1/8" Projection (Amazon.ca).
- One per partition door.

Grab Bars:

- MOEN 24-inch x 1.5-inch Peened Grab Bar in Stainless Steel (ADA Compliant) (Model # LR8924P/ Home Depot Store SKU # 1000185078) or equivalent.
- HealthCraft Products: 30" x 30" L-Shaped Grab Bar (Amazon.ca).
- Grab Bars to be installed as per current local Accessibility (i.e. AODA) requirements.
- Follow AODA requirements as per the Issued For Construction (IFC) drawings.

Mirrors:

- Frost 941 Stock Series Mirror 18" x 24" (handywashroom.com) or equivalent.
- One mirror per sink
- Frost 941-FT 18" x 24" Fixed Tilt Mirror or equivalent.
- One tilt mirror per bank of sinks

Garbage Bins:

 Frost Large Wall Mounted Waste Receptacle Stainless Steel (Model # 304 NLS / Home Depot Store SKU # 1001097388) or equivalent.

Baby/Adult Change Tables:

 Frost Baby Change Table (Model # 1125 / Home Depot Store SKU # 1001097342) or equivalent.

Soap Dispenser:

• One dispenser between two sinks.

Touchless Hand Dryer (Recommended):

• AIKE AK2630S Compact Automatic High Speed Hand Dryer Commercial and Household, ABS Cover 1400W(Silver) / (Amazon.ca) or equivalent.

Ventilation Fans:

 Broan-NuTone Flex Series 80 CFM, 1.5 Sones Bathroom Exhaust Fan ENERGY STAR® (Model #AERN80BC / Home Depot Store SKU # 1000742809) or equivalent.

Division 15 – Mechanical/Plumbing

TOILETS

- Low flow right height toilets.
- American Standard Cadet Millennium 4.8L Right Height Elongated toilet White (Model #760AA107.020 / Home Depot Store SKU # 1001550942) Comfort Height 16.5" or equivalent.
- Rubbermaid Auto Flush Chrome Side Mount Flush Clamp with Courtesy Flush Button (Model # 2463453 / Home Depot Store SKU #1001518277) or equivalent.

SINKS

- Glacier Bay Retro Square Drop-in Sink in White (Model # 13-0078-4W-GB/ Home Depot Store SKU # 1001094134) or equivalent.
- White in colour

FAUCETS

Chrome finish, commercial grade:

- HHOOMMEE Bathroom Basin Automatic Sensor Faucet Touchless Motion Sensor Tap withWater Mixer Valve(0103C) (Amazon.ca) or equivalent.
- Faucets to be touchless.

Product Images

Product Images							
29GA Steel Roof	29GA Steel Siding	Counter/Vanity	Exterior Doors	Interior Doors	Locking Door		
Linguis A					E.		
Non-Locking	Keypad w Handle	Keypad Only	Interior	Door closer	Door Bar		
5				4	-		
Auto Door	Kick Plate	Slider	Frosted	Picture	Vinyl Plank		
	1000						
Porcelain	Grey Trim	Putty Trim	Primer	Semi-Gloss Paint	Ceiling Paint		
				W (M)	200 Mg.		
Ceiling Tile	Wall/Ceiling Panels	B/R Partitions	Coat Hooks	Grab Bars	Mirrors		
		Powder Coated Landa Sypholome Reference No.	100	1			
Garbage Cans	Napkin Disposal	Shower Seat	Baby Change Table	Soap Dispenser	Hand Dryer		
		D.			1		
Paper Towel	Toilet Paper	Ventilation Fan	VF Humidity w Sensor	Needle Disposal	Lockers		
Acc. Shower Pan	Acc. Shower Seat	Shower Pan	Shower Drain	Auto Shower Shut-off	Auto Shower Timer		
	T	/			-3		
Right Height	Auto Flush	Urinal	Bathroom	Bathroom	Moen Acc		
Toilet			Sink	Faucet	Shower Faucet		
9		Q		1			
Moen Shower Faucet	Ceiling Lighting	Pot Light Option	Motion Sensor	Exterior Lighting	Emergency Lighting		
6				0	9 9		
Fire Alarm	Exit Signs	GFCI Recepticles					
	☆						